

Thoughtful Growth in Action: Re-imagining Essex's Planning Governance

Working Group Session #3

November 18, 2015

5:30 to 8:30PM

EJRP

Agenda Review

- 5:30 Agenda Review & Session 2 Follow-up
- 5:40 Planning Governance Scenarios Presentation
- 6:10 Decision Matrix Exercise & Discussion
- 7:10 Break & By the Principles Worksheet
- 7:30 Narrowing Preferences Exercise & Discussion
- 7:50 Community Engagement Challenges & Discussion
- 8:25 What's Next?

Key Findings

What have we learned?

Planning Today

- ✓ How is planning structured currently in the village and the town outside the village?
- ✓ What's working well about it and where do people see opportunities for improvement?

Shared Planning Potential

- ✓ What could be the benefits of sharing planning functions across the Town and Village?
- ✓ What are the challenges and/or concerns about shared planning?

Board Structure

- ✓ What is the range of options for board structure?
- ✓ What are the pros/cons of different structures?
- ✓ Are they different between the Town and Village?

Community Engagement

- How does the planning structure interact currently with the broader community?
- What's working well and where do people see opportunities for improvement?
- How can we educate community members about every stage of the planning process so that they better understand when and how they can influence planning decisions?

What other considerations should the Town and Village take into account?

What kind of planning do we want?



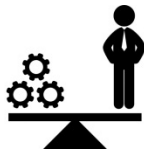
Principle #1: Long Range Planning



Principle #2: Development Review



Principle #3: Boards & Staff



Principle #4: Resources



Principle #5: Community Participation



Findings: Long Range Planning

- Recognition of Differences
- Desire for Collaboration
- Desire for Long Range Planning



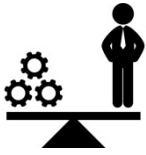
Findings: Development Review

- Resident Experience
- Perceptions of Review Efficiency
- Increasing Review Complexity
- Balancing Interests
- Plan Connectivity



Findings: Staff & Boards

- Good Staff Communications
- Limited Board Communications
- Uneven Board Roles
- Potential to Match Skills and Interests



Findings: Resources

- Staff Capacity
- Resource Allocation
- Outside Funding

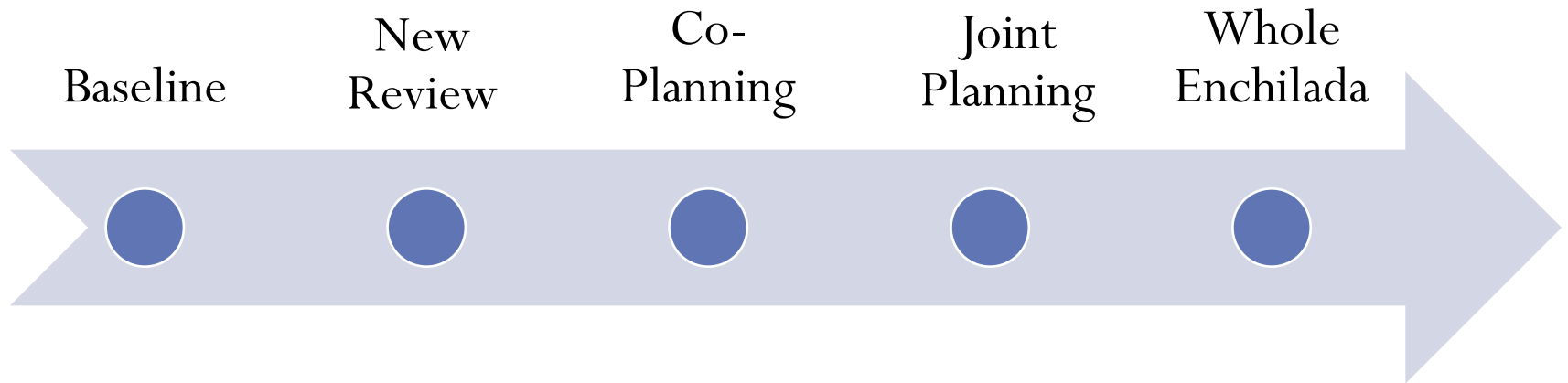


Findings: Community Engagement

- Community Understanding
- Community Communications
- Participation Opportunities
- Civic Culture

The Scenarios

Scenario Snapshot



Change Continuum

1

Baseline Scenario

| Element | Detail | Same or Different from Today? |
|----------------------------|---------------|-------------------------------|
| Planning Commission | Separate | Same |
| Zoning Board or DRB | Separate ZBAs | Same |
| Staffing | Separate | Same |
| Municipal Plan | Separate | Same |
| Bylaws | Separate | Same |
| Development Review | Separate | Same |

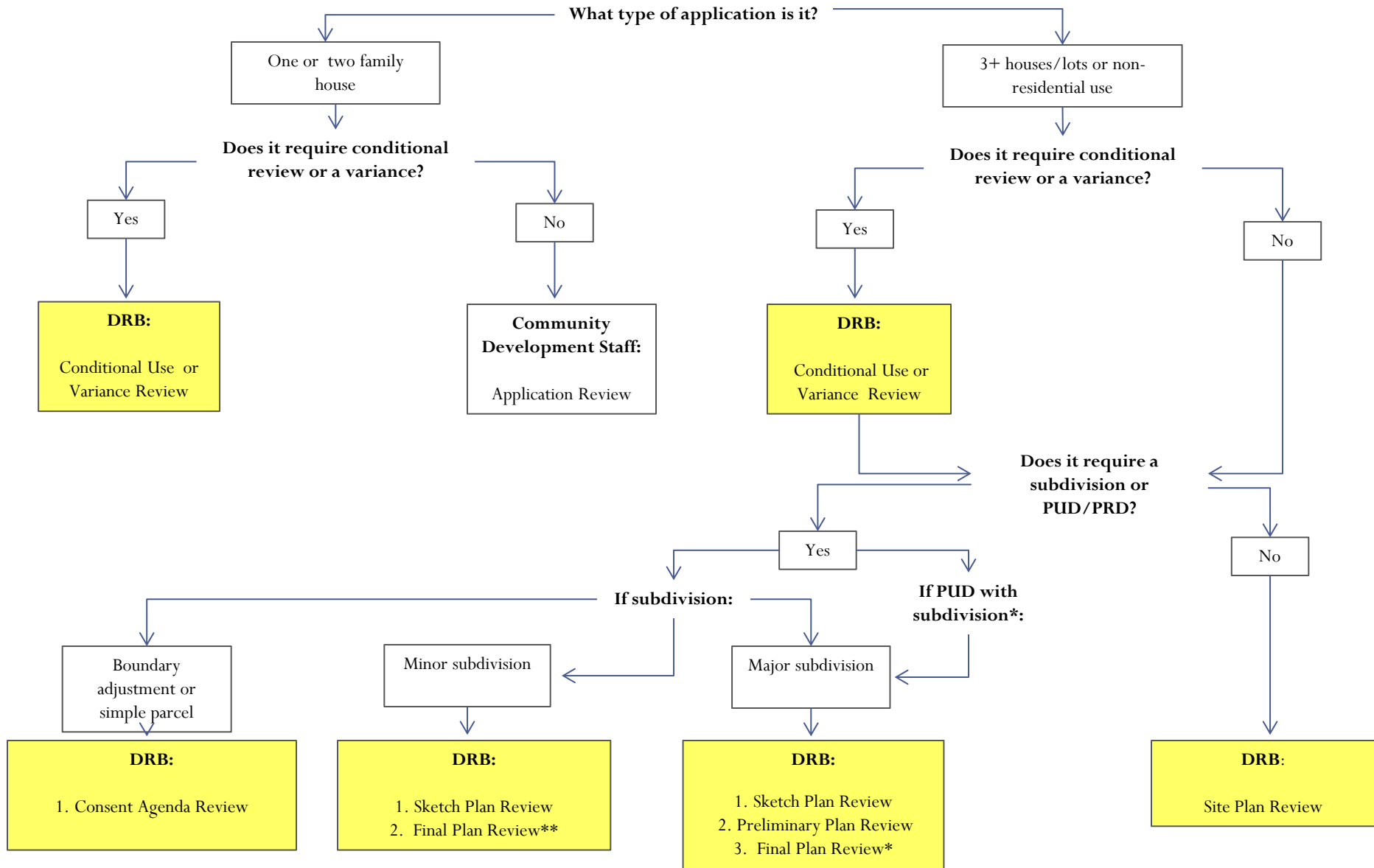
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New Review Scenario

| Element | Detail | Same or Different from Today? |
|----------------------------|-------------------------|-------------------------------|
| Planning Commission | Separate | Same |
| Zoning Board or DRB | Separate DRBs | Different |
| Staffing | Separate | Same |
| Municipal Plan | Separate | Same |
| Bylaws | Separate | Same |
| Development Review | All review goes to DRBs | Different |

The Development Review Process in the Town OUTSIDE the Village

For New Houses or New/Alterations to Non-residential Uses

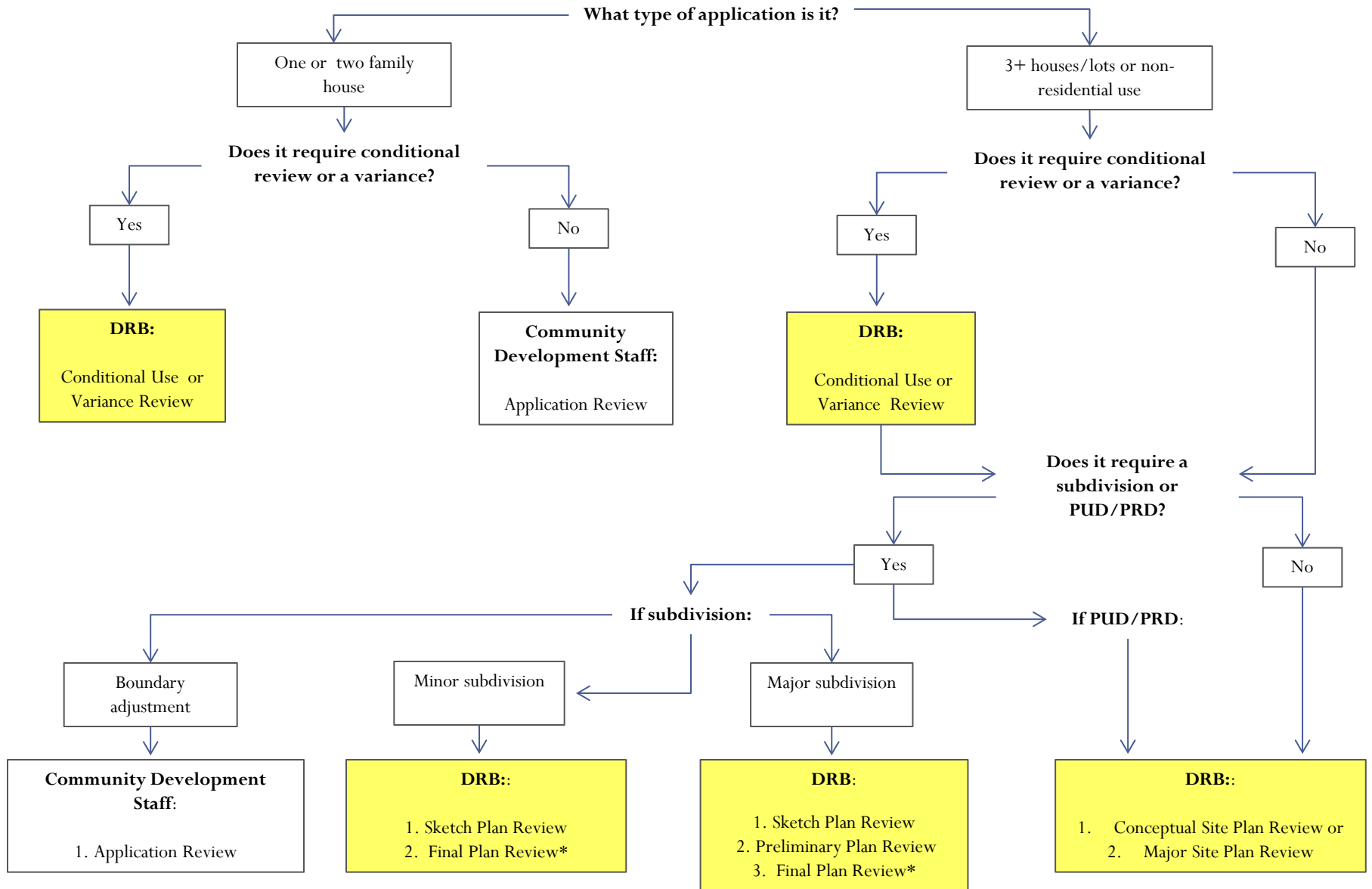


*A PUD/PRD without subdivision is considered under Conditional Use Review - it would be heard first by the Zoning Board and then go the Planning Commission for Site Plan review.

**Site Plan review is typically consolidated into a preceding subdivision step. If it is not then the Planning Commission would require an application to go to Site Plan Review.

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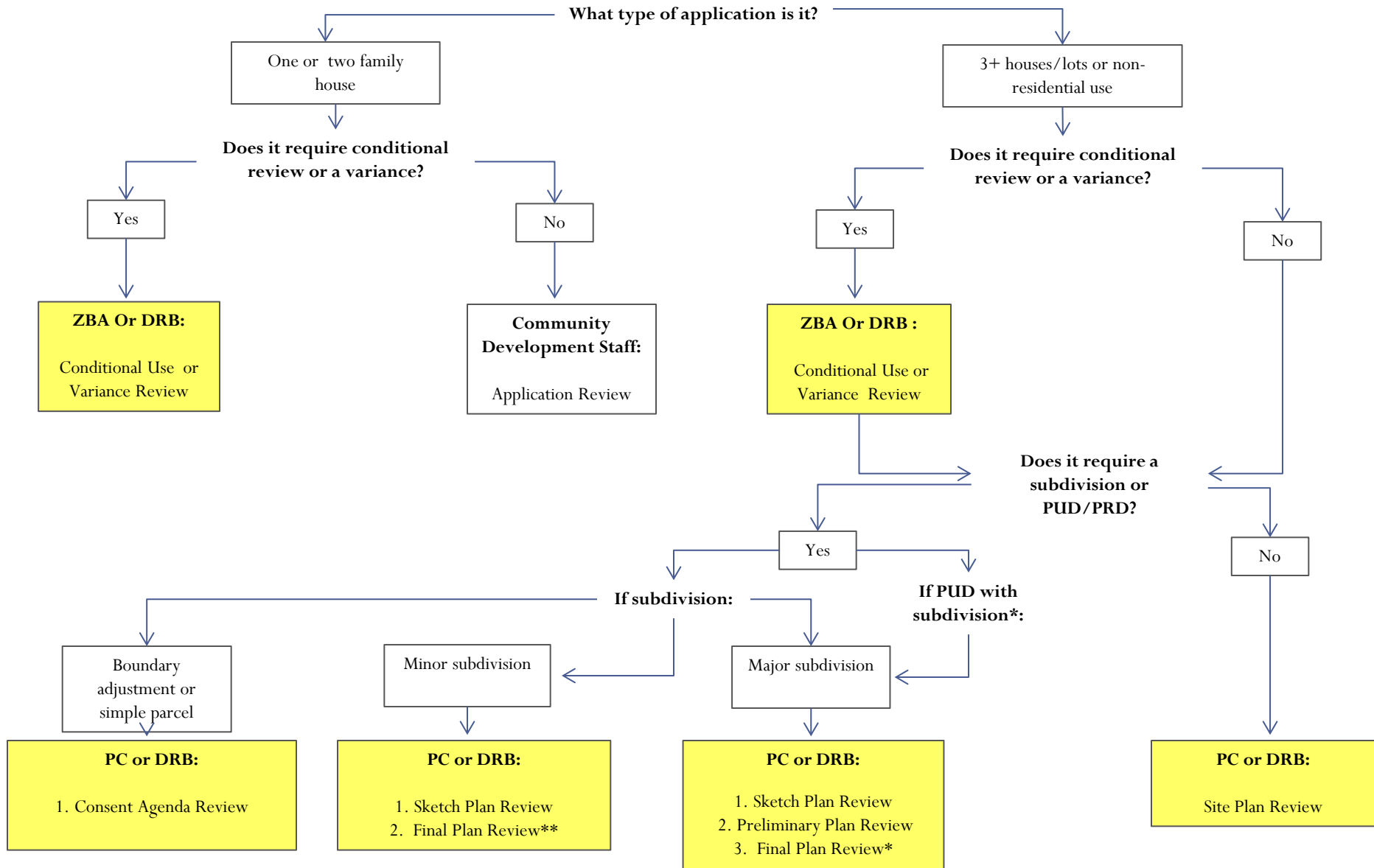
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Co-Planning Scenario

| Element | Detail | Same or Different from Today? |
|------------------------------|------------------|-------------------------------|
| Co-Planning Committee | Shared | Different |
| Planning Commission | Separate | Same |
| Zoning Board or DRB | Depends | Depends |
| Staffing | Minimally Shared | Different |
| Municipal Plan | Separate | Same |
| Bylaws | Separate | Same |
| Development Review | Depends | Depends |

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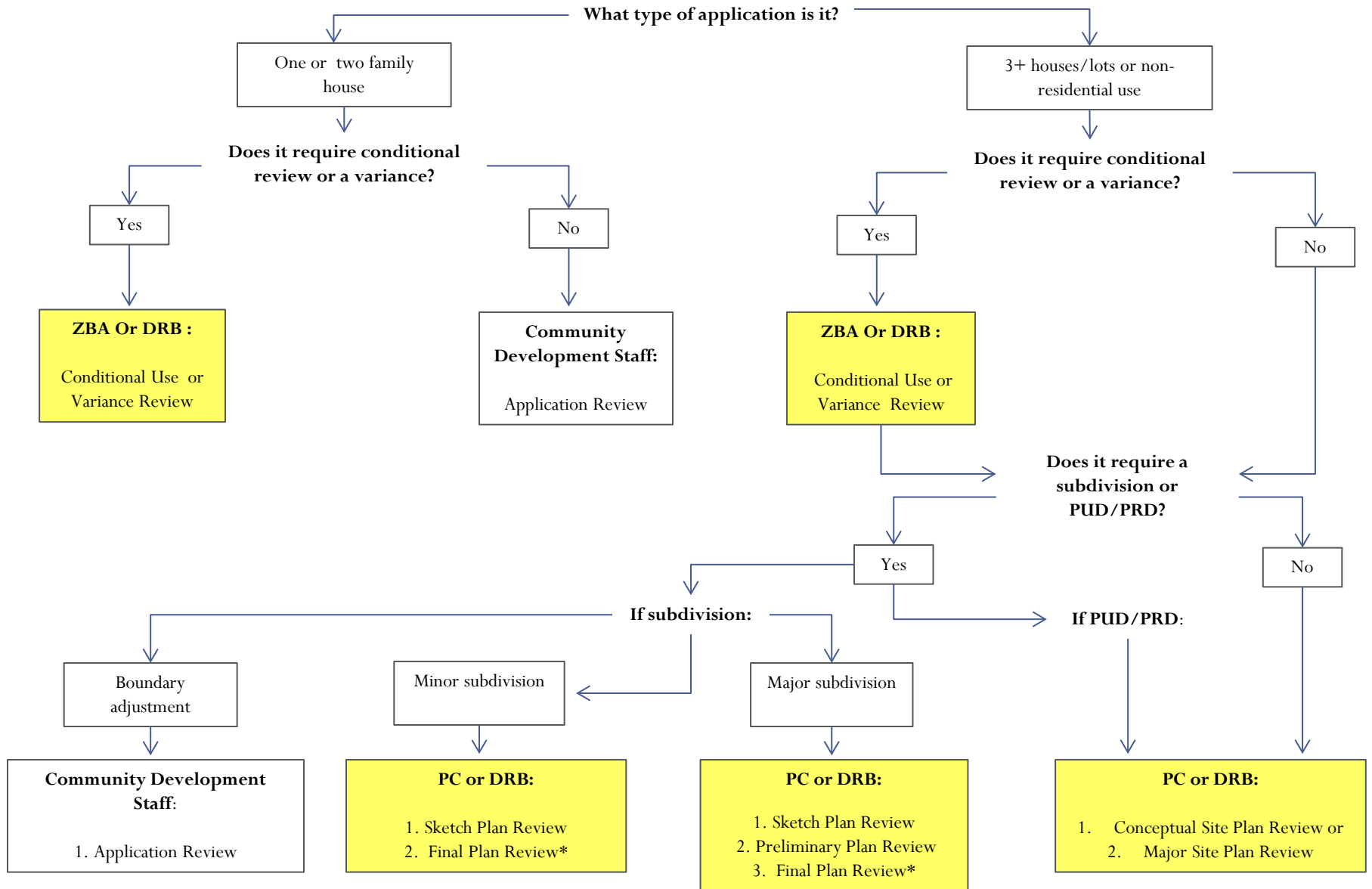


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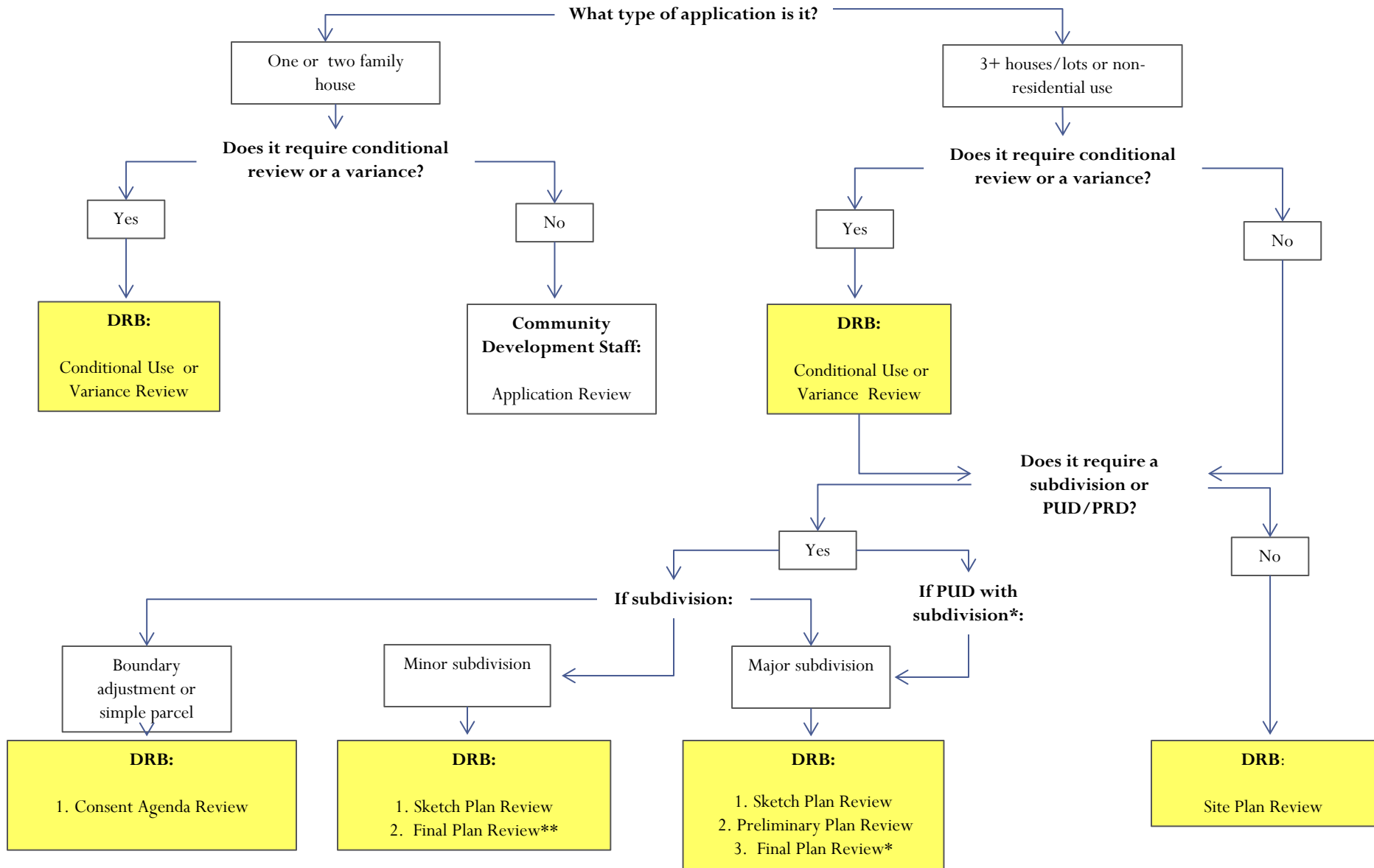
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Joint Planning Scenario

| Element | Detail | Same or Different from Today? |
|----------------------------|-------------------------|-------------------------------|
| Planning Commission | Shared | Different |
| Zoning Board or DRB | Separate DRBs | Different |
| Staffing | Partly Shared | Different |
| Municipal Plan | Shared | Different |
| Bylaws | Separate | Same |
| Development Review | All review goes to DRBs | Different |

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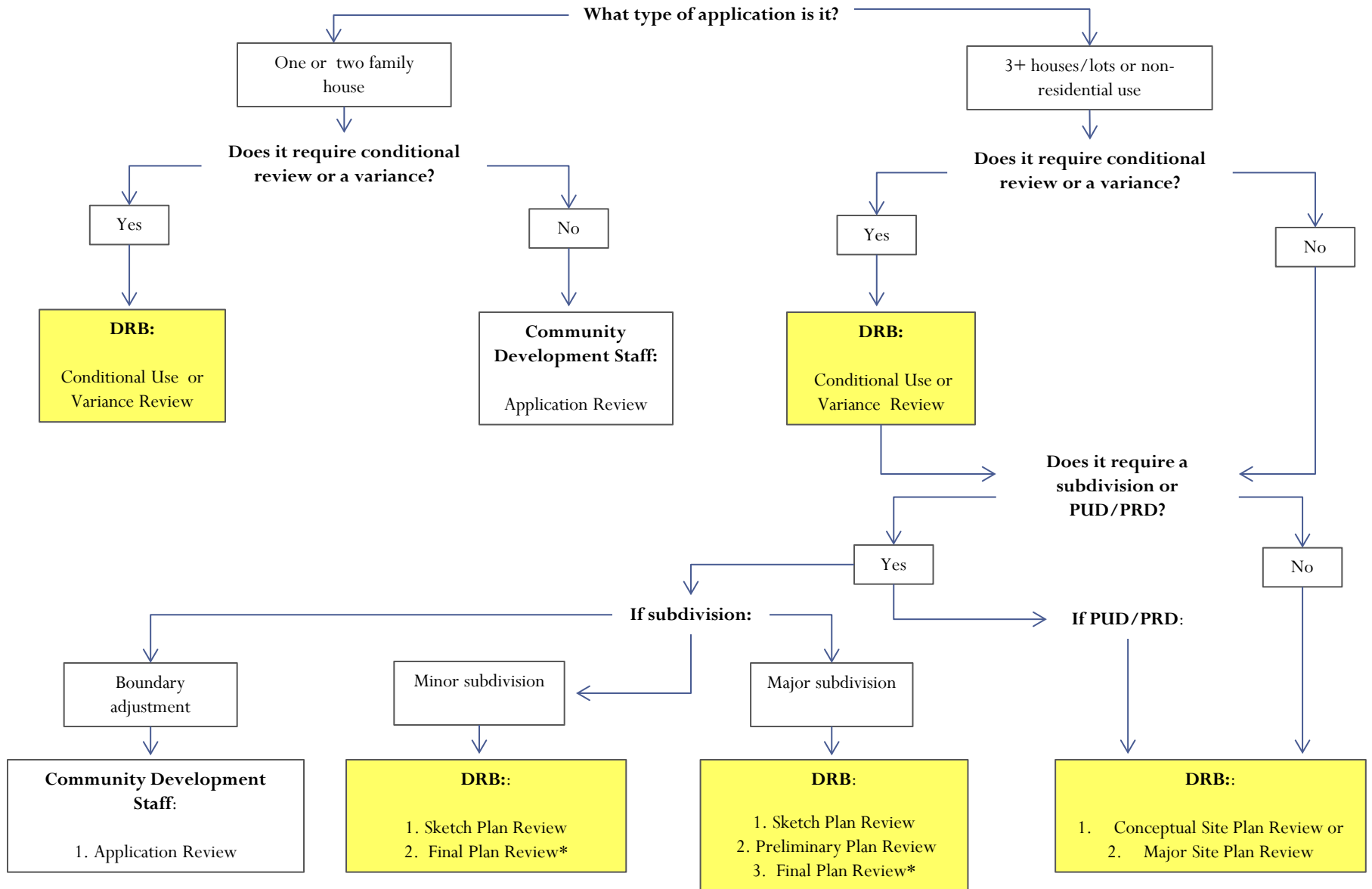


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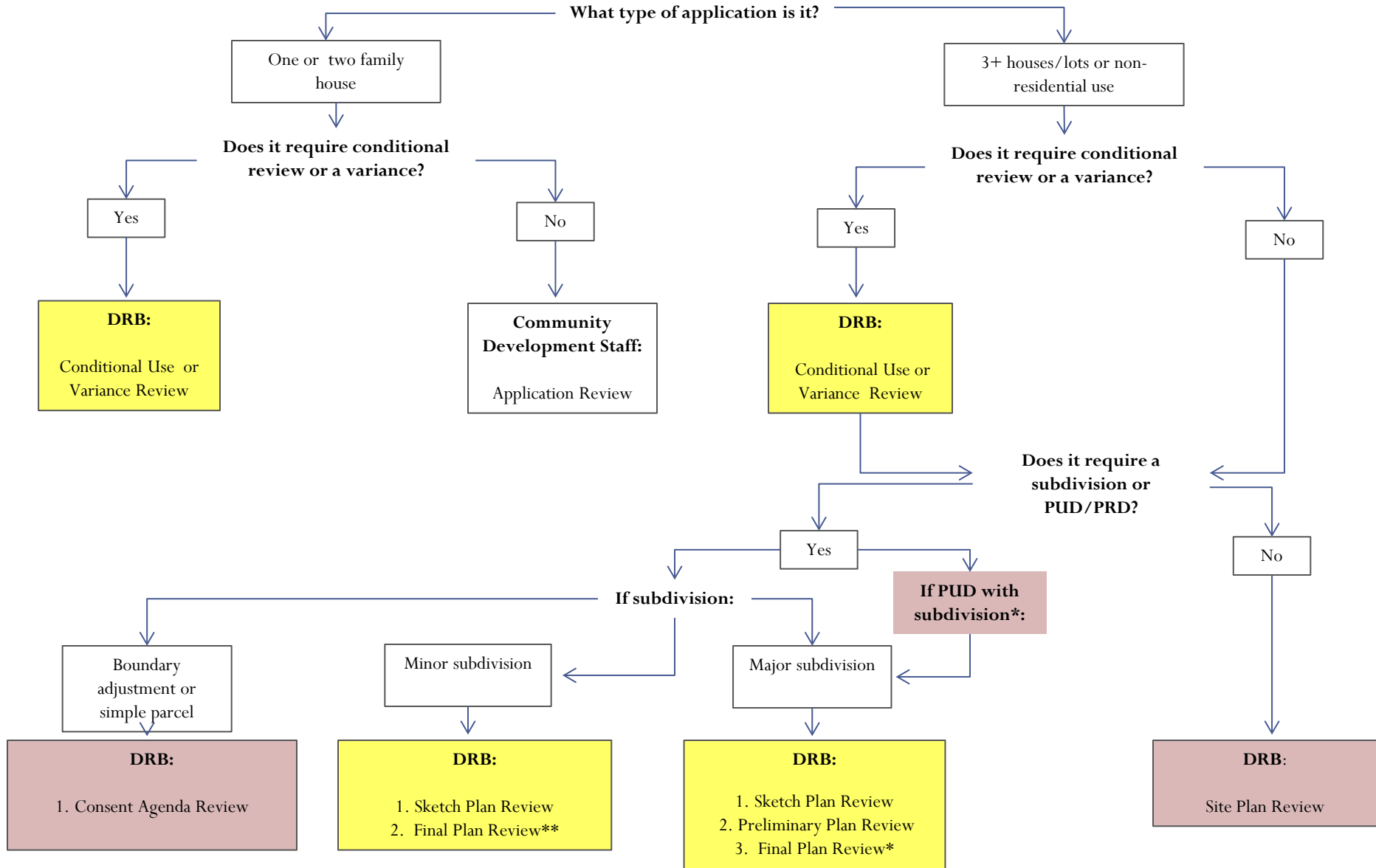
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Whole Enchilada Scenario

| Element | Detail | Same or Different from Today? |
|----------------------------|-------------------------|-------------------------------|
| Planning Commission | Shared | Different |
| Zoning Board or DRB | Shared DRB | Different |
| Staffing | Shared | Different |
| Municipal Plan | Shared | Different |
| Bylaws | Shared | Different |
| Development Review | All review goes to DRBs | Different |

The Development Review Process

For New Houses or New/Alterations to Non-residential Uses



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Questions?

Community Engagement Challenges



Findings: Community Engagement

- Community Understanding
- Community Communications
- Participation Opportunities
- Civic Culture

Recommendations

1. Online tracking system for applications
2. Quarterly newsletter re: board activities
3. Board member trainings
4. Co-location of Community Development staff
5. Development of planner primers/quick guides
6. Development of protocols/tools for planning meetings
7. Exploration of new communication and engagement tools
8. Development of community partnerships
9. Consistent use of communication and engagement tools
10. Creation of neighborhood planning structures
11. Development of a public participation protocol
12. Re-allocation of staff resources to support communications and/or engagement